

Guide To Development Documents Commercial - Industrial

What Is This Guide For?

This guide is intended for all commercial or industrial projects within the City of Cadillac.

You may find this guide useful if you intend to:

- Construct a commercial or industrial building
- Construct an addition to a commercial or industrial building
- Make alterations to a commercial or industrial building that involve structural, mechanical, electrical, or plumbing improvements.
- Reconstruct a parking lot.
- Create a change in use for a commercial or industrial building which has a different parking demand.
- Add an accessory building or structure



Why Do I Need A Permit?



Permits from the City of Cadillac are needed to make sure your project is in conformance with the city's zoning ordinance, drainage policies, building code, and fire code. All of the city's codes and ordinances have been adopted for the safety and general welfare of not only the workers at a commercial or industrial business but all to all who may visit.

Submission of any type of permit application can be made at the City of Cadillac Administrative Offices at 200 N. Lake Street, Cadillac, MI 9601.

1. How Do I Start?

If you are planning to undertake a commercial or industrial construction (either new construction or remodeling) project in the City of Cadillac your first step should be to call or meet with the Zoning Administrator or Community Development Director to discuss your project. Through this call or meeting the Zoning Administrator or Community Development Director will determine what level of review your project may require such as:

- Building Permits Only
- Site Plan Review and Building Permits
- Special Use Permit, Site Plan, and Building Permits
- Residential, Commercial, or Mixed-Use Planned Unit Developments, Site Plans, and Building Permits

2. Building Permits Only

If your project does not need site plan approval or any other type of zoning approval and may be submitted directly for building permits, please follow the building permit process as outlined on the Building Permit Flowchart on the following page. All building permit applications can be downloaded and printed from the city's website at the following link <http://www.cadillac-mi.net/155/Applications-Permits> (look under Construction Applications), this includes individual trade applications. The process for submitting individual trade applications is also shown on the Building Permit Flowchart on the following page.

3. Site Plan Review and Building Permits

If your project will require site plan review this process must be completed before you file any applications for a building permit. The two processes cannot be followed concurrently nor should they be comingled. To start the site planning process you are encouraged to take advantage of the optional pre-submittal review option offered by the Community Development staff. This option is a free service and is outlined in the flow chart shown on page 5. Following the pre-submittal review process the applicant would then download, print, and complete the zoning application found at the following link <https://www.cadillac-mi.net/155/Applications-Permits>. In addition to the completed zoning application the applicant should submit 5 copies of the project site plan containing all of the elements contained in the Site Plan and Review Checklist also found at the link above and the fee identified on the zoning application form. This starts the formal site plan review process which is illustrated on page 6.

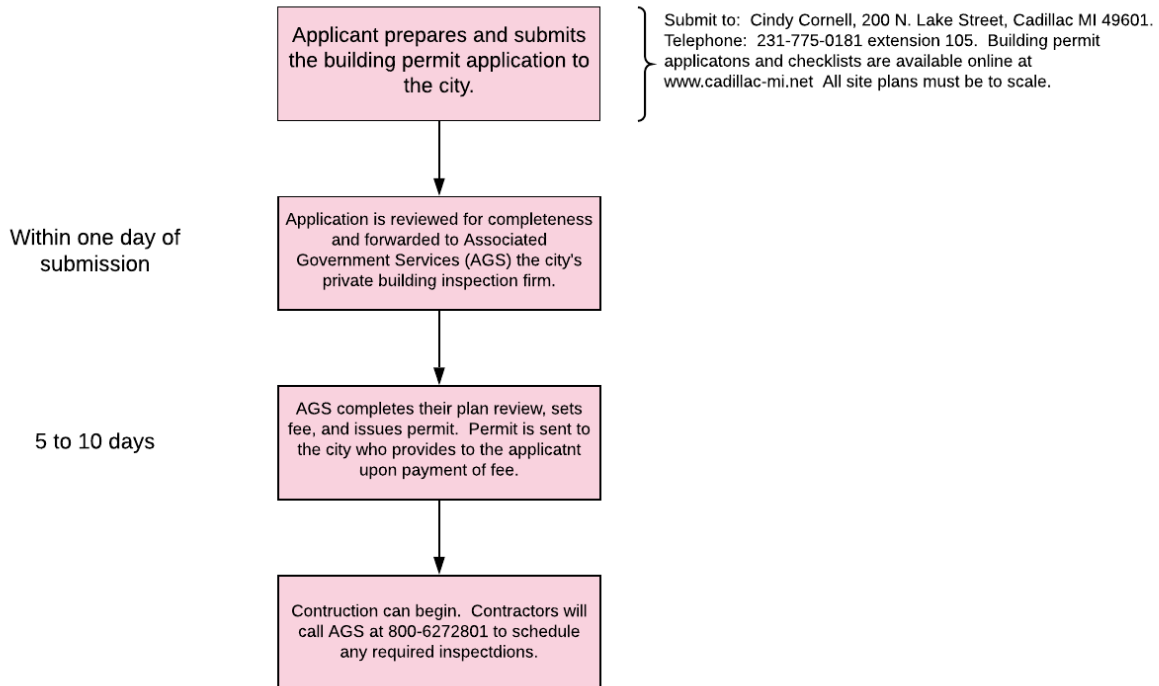
Once you have successfully completed the site plan review process you may then apply for your building permits as prescribed in Section 2 above.

City of Cadillac

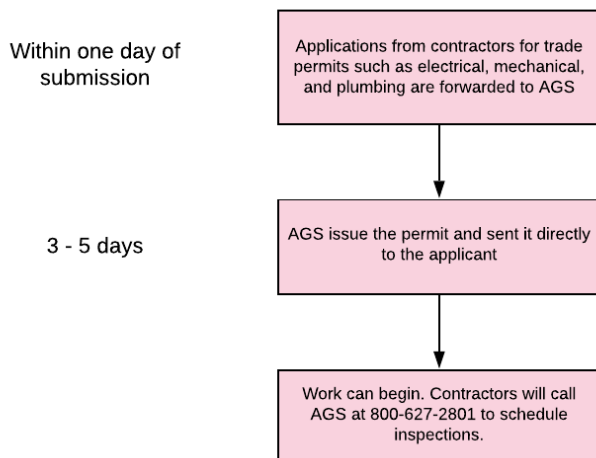
Building Permit Review Process

(for residential, commercial and industrial projects)

For Building Plans



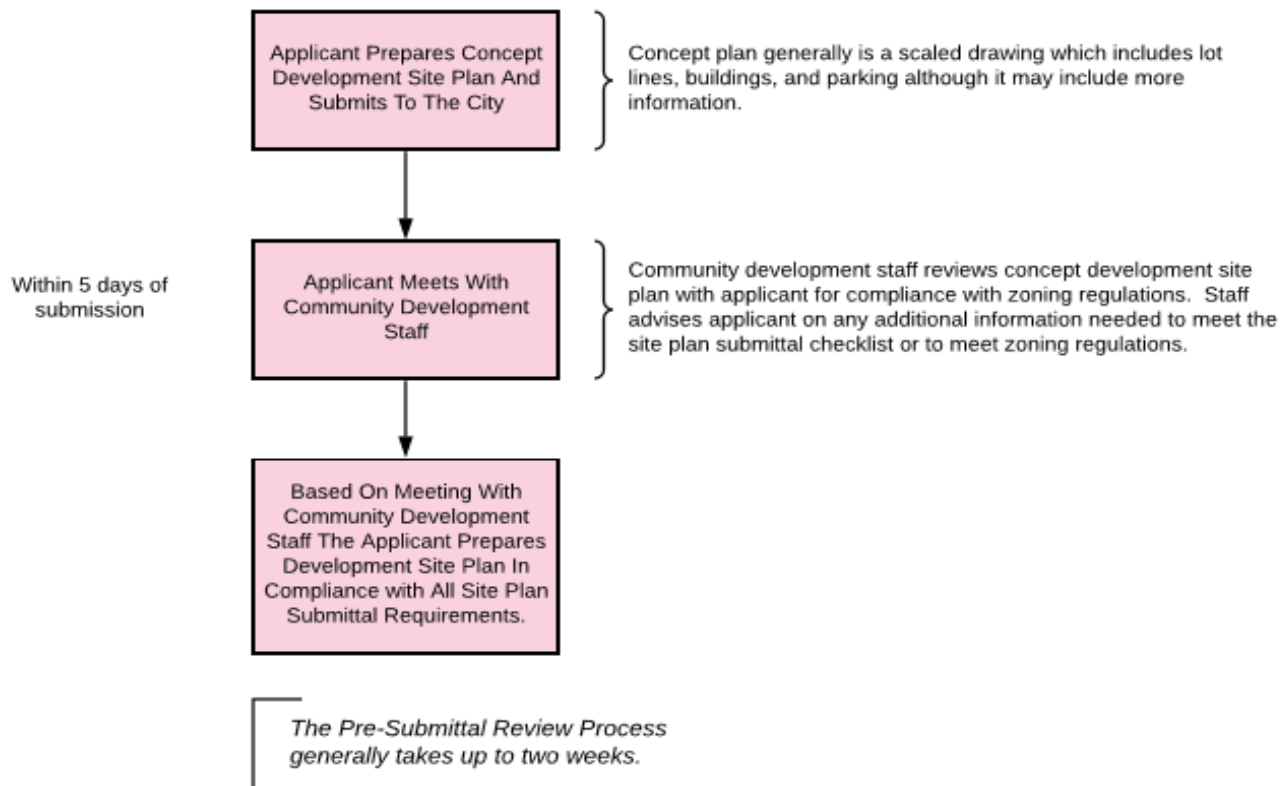
For Individual Trades



City of Cadillac Site Plan Review Process

Pre-Submittal Review - Optional

Contact: John Wallace
200 N. Lake Street
Cadillac, MI 49601
231-775-0181 extension 101

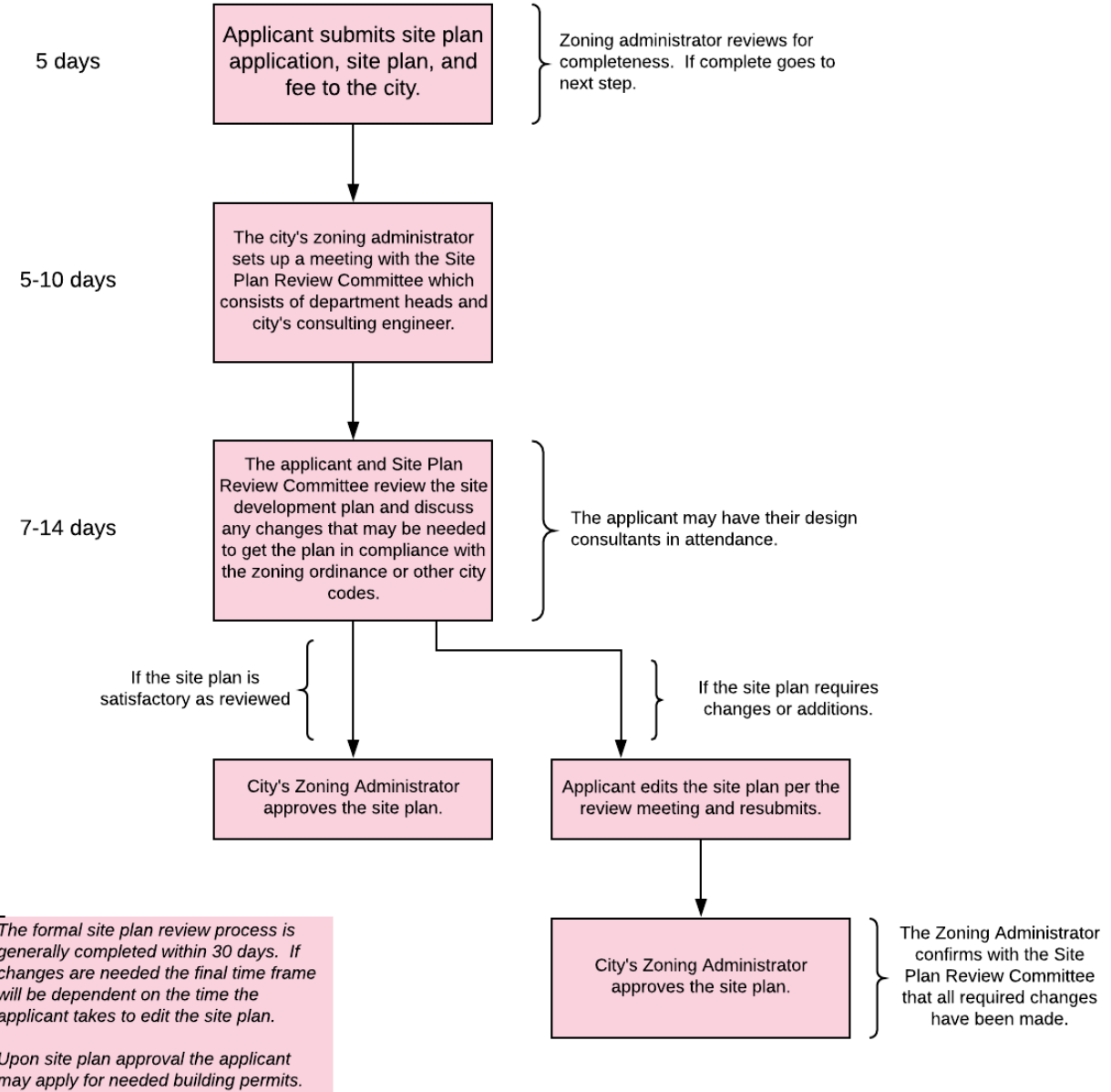


4. Special Use Permit, Site Plan, and Building Permits

If your construction project involves a use which is not “permitted by right” but requires a “special use permit” the process of applying for the special use permit will be combined with the site plan review process. Only upon approval of the special land use with the site plan by the planning commission may an applicant apply for building permits. Regulations governing special land use can be found in Article VI of the zoning ordinance https://library.municode.com/mi/cadillac/codes/code_of_ordinances?nodeId=PTIICOOR_CH46ZO_ARTVISPLAUS. The process for obtaining a special land use is shown in the flow chart on page 7. The site plan review process that takes place along with the application for a special land use is the same as described under Section 3 above with the one exception being that the site plan also needs to be approved by the Planning Commission.

Formal Site Plan Review

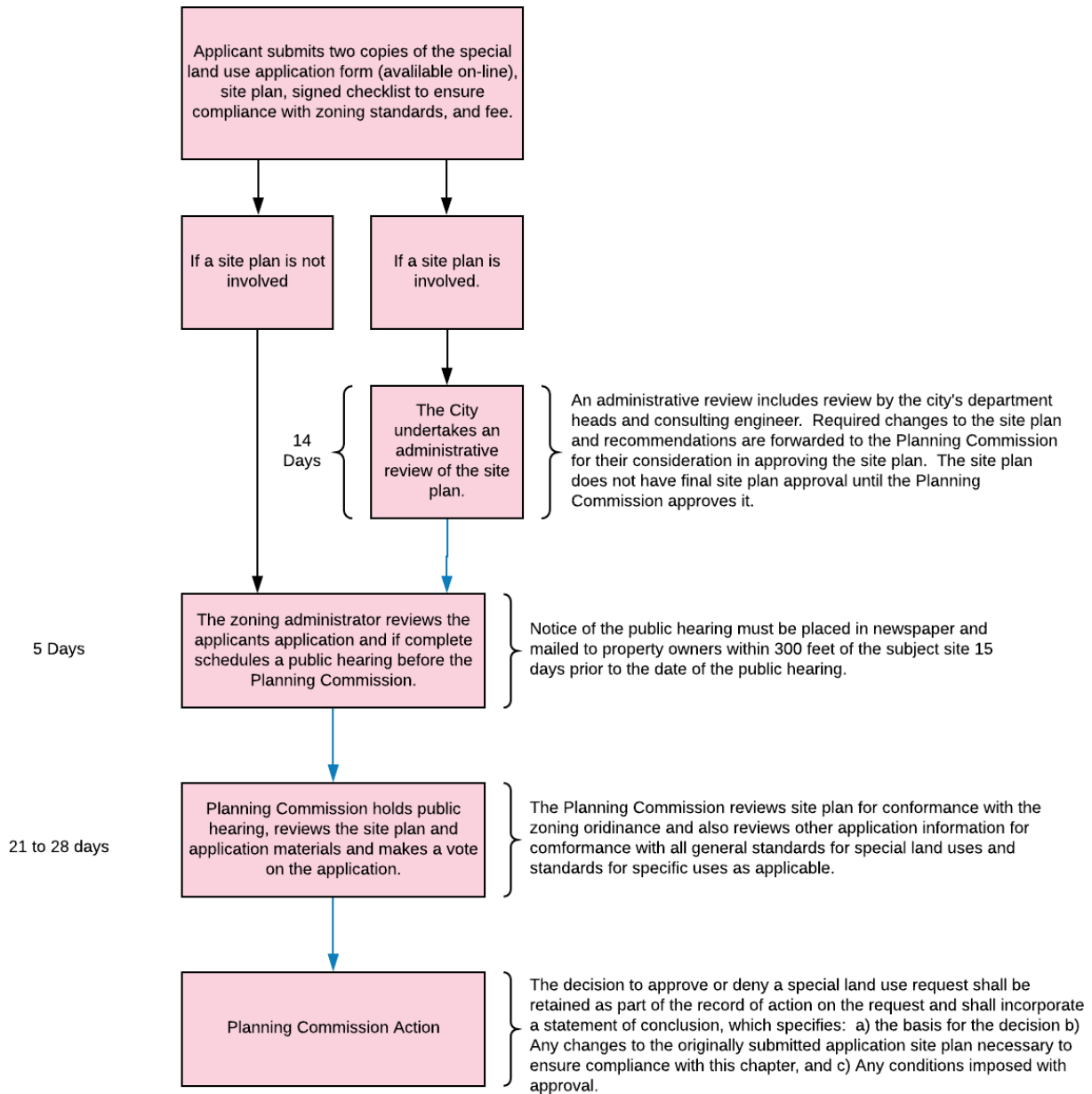
Time Frame



Special Land Use Review Process

(The special land use process generally takes from 30 to 45 days to complete.)

Time Line



5. Residential, Commercial, or Mixed-Use Planned Unit Developments, Site Plans, and Building Permits

A **residential planned unit development** is a development option which is designed to permit greater flexibility in the development of zoning districts than is generally possible under conventional zoning regulations. It is further intended to promote more efficient use of land while permitting a harmonious variety of development choices. Residential planned unit developments are reviewed by the planning commission as a special land use. The review process is similar to the special land use review process with the exception that the site plan review is a two-step process which starts with a sketch plan and is completed with a detailed site plan.

The residential planned unit development review process is shown in the flow chart shown on page 9.

A **commercial planned unit development** is a development option which is designed to permit greater flexibility in the development of zoning districts than is generally possible under conventional zoning regulations. It is further intended to promote more efficient use of land while permitting a harmonious variety of development choices. Commercial planned unit developments may be considered in the OS-1, OS-2, B-1, B-2, B-3, TS-1, and TS-2 zoning districts and are reviewed by the planning commission as a special land use.

The review process for a commercial planned unit development is the same as for a residential planned unit development which is illustrated on page 9. Regulations governing commercial planned unit developments are contained in Division 17 of the zoning ordinance.

The mixed-use planned unit development (M-PUD) district is intended to permit flexibility in the regulation of land *development*, encourage innovation in land *use* and variety in design, layout, and type of structures constructed, achieve economy and efficiency in the *use* of land, natural resources, energy, and the provision of public services and utilities, encourage *useful* open space, and provide better housing, employment, and shopping opportunities particularly suited to the needs of the residents of the city and the general public. To make use of the MPUD district will require rezoning your project site into the MPUD District.

Uses which may be considered for the MPUD District include all residential or commercial uses which are permitted in the R-1, R-2, R-3, R-4, RM-1, RM-2, OS-1, OS-2, B-1, B-2, B-3, TS-1, and TS-2 zoning districts. Minimum design standards are contained in Section 46-643 of the zoning ordinance and the eligibility requirements are included in Section 46-644 of the zoning ordinance.

MPUD's require the approval of both the planning commission and the city council. The site plan review process for MPUD's like the residential and commercial PUD's is a two-step process which includes approval of both a sketch plan and a final site plan.

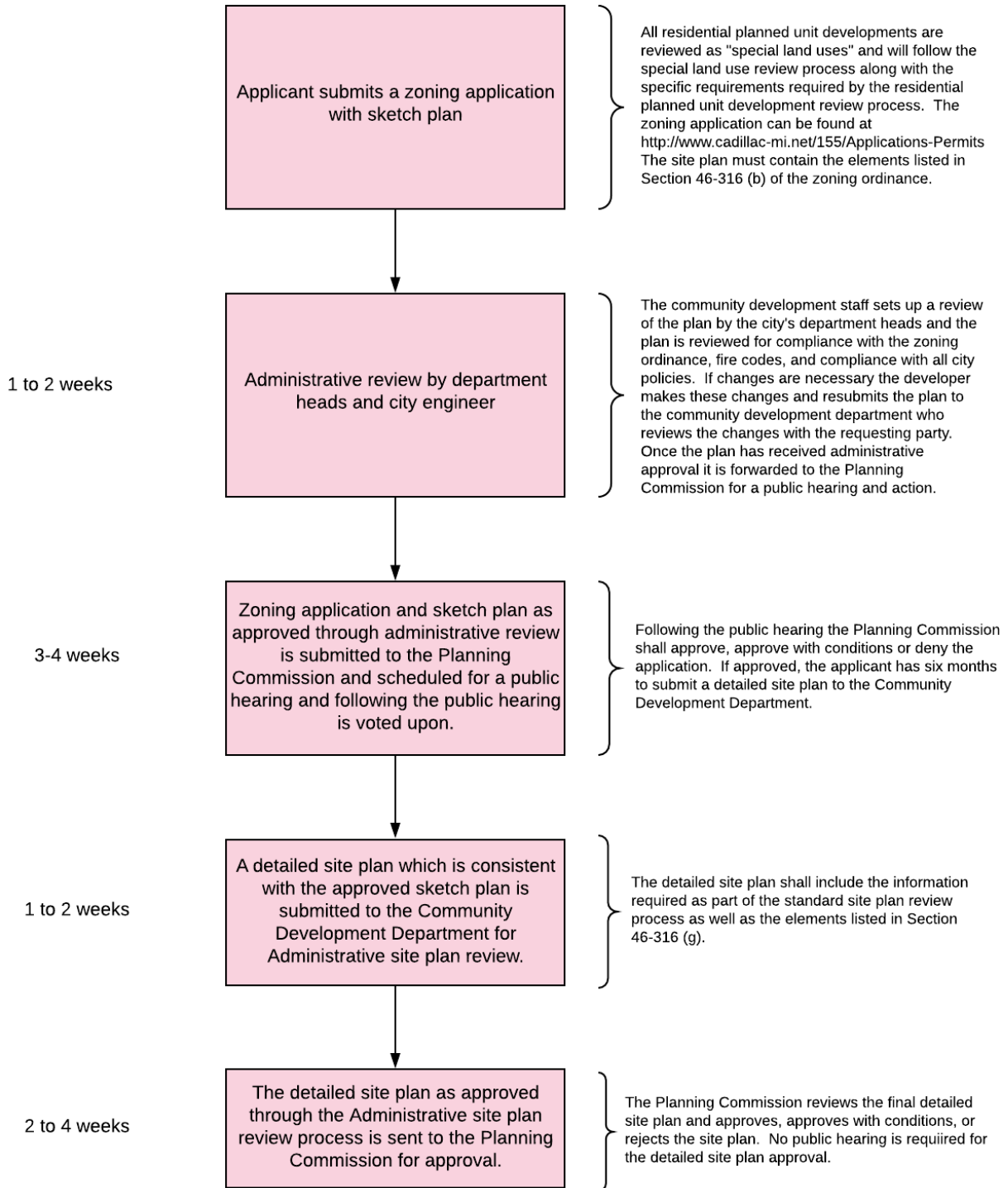
The full review process for a mixed-use planned unit development is illustrated in the flow chart contained on page 10.

Upon receiving final approval through any of the planned unit development review processes a developer may submit for building permits using the process outlined in Section 2 above.

Residential Planned Unit Development Review Process

(Residential Planned Unit Developments are process as special land uses)

Time Frame



Mixed-Use Planned Unit Development Review Process

(Mixed-Use Planned Unit Developments are a Rezoning Action)

Time Frame

